



Patriot Home Inspections

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Inspected By: Hubert Miles Jr, RBI 2556



Home Inspection Report

Prepared For:

New Homebuyer

Property Address:

**123 Sample Ave
Anytown, SC 29555**

Inspected on Wed, Jun 20 2018 at 12:12 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

Thank you for selecting our company. We appreciate the opportunity to be of service. Should you have any questions about the general condition of the house in the future, we would be happy to answer these. There is no fee for this telephone consulting. Our fees are based on a single visit to the property. If additional visits are required for any reason, additional fees may be assessed. A re-inspection is available of any repair items listed in this inspection for \$125.00.

SCOPE OF INSPECTION

A home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. The scope of work may be modified by the Client and Inspector prior to the inspection process. No destructive testing or dismantling of building components is performed.

The home inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions. The home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection. A material defect is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at or beyond the end of its normal useful life is not, in itself, a material

defect.

A home inspection report shall identify, in written format, defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. Inspection reports may include additional comments and recommendations.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Monitor: At the time of inspection, denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary. The component is functioning but is estimated to be nearing end of its useful lifespan.

Repair or Replace: At the time of inspection, denotes a component that does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Improve: At the time of the inspection, denotes an item where improvement is recommended but not required.

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Site

- 1) Monitor: typical cracking was observed in the concrete driveway and walkways. This condition should be monitored.
- 2) Repair: trees and tree limbs need to be trimmed away from the house.

Structure

- 3) Repair: the floors in the home are sagging. Some prior termite damage was observed which has been repaired by sistering new floor joists against damaged ones. There are long spans of floor joists where they are not supported. This can cause bouncy floors which was observed. Additional support piers or foundation jack posts are needed to stabilize the floor system. A licensed building contractor should evaluate for repairs.

Structure: Crawlspace

- 4) Repair: the sump pump is discharging water inside the crawl space. The discharge pipe should extend to the exterior and directing discharge away from the foundation.
- 5) Repair: the discharge pipe for the pool pump is has a positive incline inside to crawl space. The discharge pipe needs repair so that the pipe has a negative slope and discharges away from the foundation.
- 6) Repair: part of the main supply trunk line is lying on the ground. The supply trunk needs to be elevated and supported.
- 7) Repair: there is standing water around the foundation perimeter. A gutter system is needed to collect and discharge storm water runoff away from the foundation.

(Report Summary continued)

Roofing

- 8) Repair: there are exposed nail heads on the plumbing vent boots. Exposed nail heads should be sealed.
- 9) Repair: the chimney cap is rusted and need to be painted.
- 10) Repair: the roof vent is rusted and needs to be painted.
- 11) Repair: the flashing on the left side of the front bay window stops short of the roof edge creating a gap for water intrusion. This needs to be repaired.

Exterior

- 12) Repair: there's a crack in the brick veneer on the front of the house. This condition should be monitored. Barring persistent movement no repair should be necessary. Filling the crack and mortar joints on the brick masonry is recommended to prevent further water intrusion.
- 13) Repair: there is wood rot at the rear bay window frames underneath the aluminum cladding. There may be some additional damage concealed from view.
- 14) Repair: there is wood rot at the rear window frame underneath the aluminum cladding. There may be some additional damage concealed from view.
- 15) Repair: all windows cladding needs to be caulked and sealed.

Electrical

- 16) Repair: the garage GFCI outlet did not respond when tested. The outlet needs to be GFCI protected.

Electrical: Sub Panel

- 17) Repair: the breakers in the sub panel box in the garage are not labeled.

(Report Summary continued)

HVAC: Heating

18) Monitor: The heat pump system was manufactured in 2006. The system responded properly when tested in heating and cooling mode. The typical lifespan of a heat pump system is 20-25 years. No one can predict when replacement will become necessary. It is recommended you obtain a home warranty for unexpected repairs.

HVAC #2: Heating

19) Monitor: The ductless mini split heat pump system is estimated to have been manufactured in 2000. The system responded properly when tested in cooling mode. The typical lifespan of a ductless mini split heat pump system is 15-20 years.

Plumbing: Water Heater

20) Monitor: The water heater was manufactured in 1997. The typical lifespan of a water heater is 10 to 15 years. The unit responded properly when tested. The system is beyond this age range and may require a higher level of maintenance. No one can predict when replacement will become necessary.

Interior

21) Monitor: there is soot buildup in the fireplace flue. Having the flue inspected and cleaned by a chimney sweep is recommended.

22) Monitor: several interior settlement cracks were observed. Following floor structure repairs, interior cracks should be repaired.

Bathrooms: Bathroom #1

23) Repair: the tile tub surround in the hall bath needs to be caulked.

Bathrooms: Bathroom #2

24) Monitor: the ceiling texture and tape joints in the master bathroom.

Kitchen: Appliances

25) Repair: the dishwasher has been removed. The exposed wire needs to be terminated inside a junction box unless a dishwasher is being installed.

General

Property Type:	Single Family
Stories:	1
Approximate Age:	1982
Age Based On:	Listing
Square Footage Under Roof:	1930
Square Footage Based On:	Listing
Bedrooms/Baths:	3/2
Door Faces:	North
Occupied:	Yes
Weather:	Sunny, Overcast
Temperature:	Hot
Soil Condition:	Damp
Furnished:	Yes
Utilities On During Inspection:	Electric Service, Water Service
People Present:	Selling Agent

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level, Sloped Away From Structure Condition: Satisfactory
Vegetation:	Growing Against Structure, Generally Maintained Condition: Satisfactory
Driveway:	Concrete Condition: Monitor
Walkways:	Concrete Condition: Satisfactory
Steps/Stoops:	Brick Condition: Satisfactory
Patios/Decks:	Concrete Condition: Satisfactory
Fence:	Wood, Privacy Condition: Satisfactory
Retaining Walls:	Not Present



Comment 1:

The lot is generally level grading. The steps and stoops are in generally good condition.

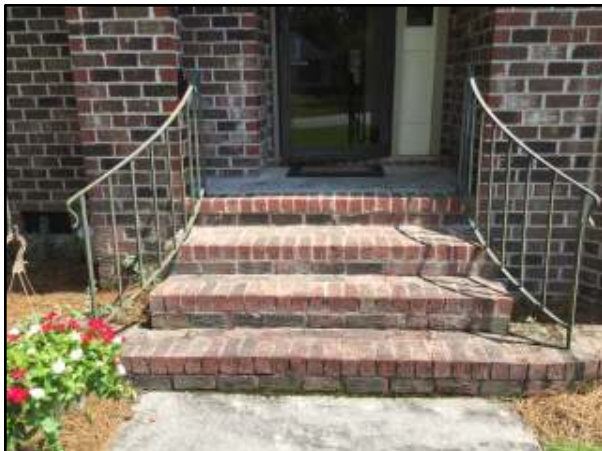


Figure 1-1



Figure 1-2

(Site continued)



Figure 1-3



Figure 1-4



Figure 1-5



Figure 1-6

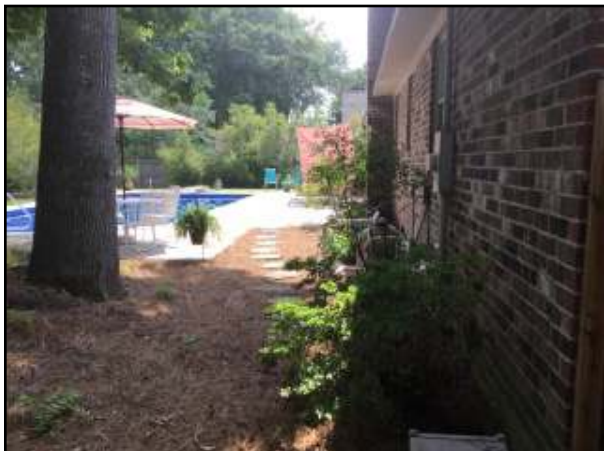


Figure 1-7

(Site continued)



Comment 2:

Monitor: typical cracking was observed in the concrete driveway and walkways. This condition should be monitored.



Figure 2-1



Figure 2-2



Figure 2-3

(Site continued)



Comment 3:

Repair: trees and tree limbs need to be trimmed away from the house.



Figure 3-1



Figure 3-2

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Crawl Space
Foundation Material:	Concrete Block
	Condition: Repair or Replace
Floor Structure:	Wood Frame
	Condition: Monitor
Subflooring:	Plywood
	Condition: Satisfactory
Wall Structure:	Wood Frame
	Condition: Satisfactory



Comment 4:

Repair: the floors in the home are sagging. Some prior termite damage was observed which has been repaired by sistering new floor joists against damaged ones. There are long spans of floor joists where they are not supported. This can cause bouncy floors which was observed. Additional support piers or foundation jack posts are needed to stabilize the floor system. A licensed building contractor should evaluate for repairs.



Figure 4-1



Figure 4-2

(Structure continued)



Figure 4-3



Figure 4-4



Figure 4-5



Figure 4-6



Figure 4-7



Figure 4-8

(Structure continued)



Figure 4-9

Limitations of Structure Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Structural components concealed behind finished surfaces could not be inspected. Only a representative sampling of the visual structural components were inspected. Furniture and/or storage restricted access to some structural components. Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection. Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests are performed. Potentially hazardous materials such as asbestos and urea formaldehyde foam insulation can not be positively identified without laboratory analysis. An analysis of indoor air quality is not part of our inspection unless explicitly contracted for prior to the inspection. Any estimates of R values or depths are rough average values.

(Structure continued)

Attic

Attic Entry:	Bonus Room Over Garage
Roof Framing Type:	Joist and Rafters
	Condition: Satisfactory
Roof Deck Material:	Plywood
	Condition: Satisfactory
Vent Risers:	PVC
	Condition: Satisfactory
Insulation:	Fiberglass Batts
	Condition: Satisfactory



Comment 5:

Insulation levels are typical for a home of this age and construction. Improvements can be made as needed or desired.



Figure 5-1



Figure 5-2

(Attic continued)



Figure 5-3



Figure 5-4



Figure 5-5

Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method:

Inside

Vapor Retarder:

Installed

Condition: Satisfactory

Underfloor Insulation:

Fiberglass Batts

Condition: Satisfactory

Ventilation Present:

Yes

Condition: Satisfactory

(Crawlspace continued)

Moisture Condition:

Wet

Condition: Repair or Replace



Comment 6:

Repair: the sump pump is discharging water inside the crawl space. The discharge pipe should extend to the exterior and directing discharge away from the foundation.



Figure 6-1



Figure 6-2



Figure 6-3



Figure 6-4

(Crawlspace continued)



Figure 6-5



Figure 6-6



Figure 6-7



Comment 7:

Repair: the discharge pipe for the pool pump is has a positive incline inside to crawl space. The discharge pipe needs repair so that the pipe has a negative slope and discharges away from the foundation.

(Crawlspace continued)



Figure 7-1



Figure 7-2



Comment 8:

Repair: part of the main supply trunk line is lying on the ground. The supply trunk needs to be elevated and supported.



Figure 8-1

(Crawlspace continued)



Comment 9:

Repair: there is standing water around the foundation perimeter. A gutter system is needed to collect and discharge storm water runoff away from the foundation.



Figure 9-1



Figure 9-2



Figure 9-3



Figure 9-4

(Crawlspace continued)



Figure 9-5

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	Walked Roof/Arms Length
Roof Design:	Gable
Roof Covering:	Architecture Shingle
	Condition: Satisfactory
Approximate Roof Age:	5-10 Years Old
Ventilation Present:	Ridge Vents, Gable Ends
	Condition: Satisfactory
Vent Stacks:	Plastic
	Condition: Satisfactory
Chimney :	Masonry
	Condition: Satisfactory
Sky Lights:	Not Present
Flashings:	Metal
	Condition: Repair or Replace
Soffit and Fascia:	Aluminum, Vinyl
	Condition: Satisfactory
Gutters & Downspouts:	Not Present



Comment 10:

In all, the roof coverings show evidence of normal wear and tear for a home of this age. The roof age is estimated to be 5-10 years old. Architecture shingles have an approximate lifespan of approximately 30 years, depending on care and weather conditions.

(Roofing continued)



Figure 10-1



Figure 10-2



Figure 10-3



Figure 10-4



Figure 10-5

(Roofing continued)



Comment 11:

Repair: there are exposed nail heads on the plumbing vent boots. Exposed nail heads should be sealed.



Figure 11-1



Comment 12:

Repair: the chimney cap is rusted and need to be painted.

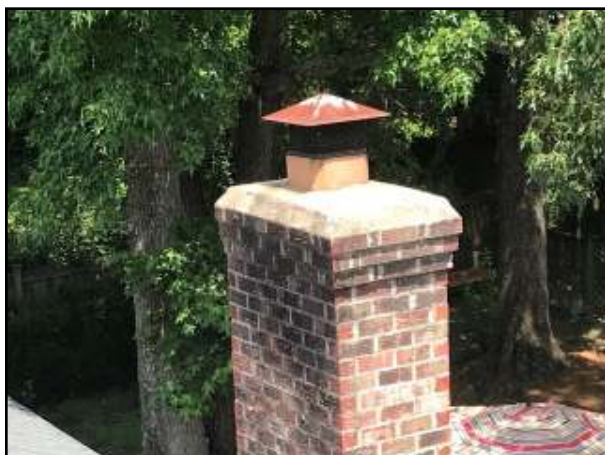


Figure 12-1

(Roofing continued)



Comment 13:

Repair: the roof vent is rusted and needs to be painted.



Figure 13-1



Comment 14:

Repair: the flashing on the left side of the front bay window stops short of the roof edge creating a gap for water intrusion. This needs to be repaired.



Figure 14-1



Figure 14-2

(Roofing continued)



Figure 14-3

Limitations of Structure Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Structural components concealed behind finished surfaces could not be inspected. Only a representative sampling of the visual structural components were inspected. Furniture and/or storage restricted access to some structural components. Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Brick Veneer Condition: Monitor
Exterior Trim Material:	Vinyl, Aluminum Condition: Repair or Replace
Windows:	Wood Condition: Repair or Replace
Entry Doors:	Wood, Metal Condition: Satisfactory
Railings:	Metal Condition: Satisfactory
Storm Protection:	Not Present



Comment 15:

The exterior of the home shows normal wear and tear for a home of this age. No significant deficiencies were observed. The exterior siding is relatively low maintenance.



Comment 16:

Repair: there's a crack in the brick veneer on the front of the house. This condition should be monitored. Barring persistent movement no repair should be necessary. Filling the crack and mortar joints on the brick masonry is recommended to prevent further water intrusion.

(Exterior continued)



Figure 16-1



Comment 17:

Repair: there is wood rot at the rear bay window frames underneath the aluminum cladding. There may be some additional damage concealed from view.



Figure 17-1



Figure 17-2

(Exterior continued)



Figure 17-3



Figure 17-4



Figure 17-5



Comment 18:

Repair: there is wood rot at the rear window frame underneath the aluminum cladding. There may be some additional damage concealed from view.

(Exterior continued)



Figure 18-1



Figure 18-2



Comment 19:

Repair: all windows cladding needs to be caulked and sealed.



Figure 19-1



Figure 19-2

(Exterior continued)



Figure 19-3



Figure 19-4



Figure 19-5



Figure 19-6



Figure 19-7



Figure 19-8

(Exterior continued)



Figure 19-9



Figure 19-10



Figure 19-11



Figure 19-12



Figure 19-13

Limitations of Exterior Inspection

(Exterior continued)

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: A representative sample of the exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, sea walls, break walls, docks, erosion control, and earth stabilization measures are not inspected unless specifically agreed upon and documented in this report.

Garage

Garage Type:	Attached
Garage Size:	2 Car
Door Opener:	Chain Drive, Manual Opening
Opener Safety Feature:	Light Beam
	Condition: Satisfactory



Comment 20:

The garage door opener auto reverse feature responded properly when tested. The garage door is in good condition. One garage door is manually operated.



Figure 20-1



Figure 20-2



Figure 20-3



Figure 20-4

(Garage continued)

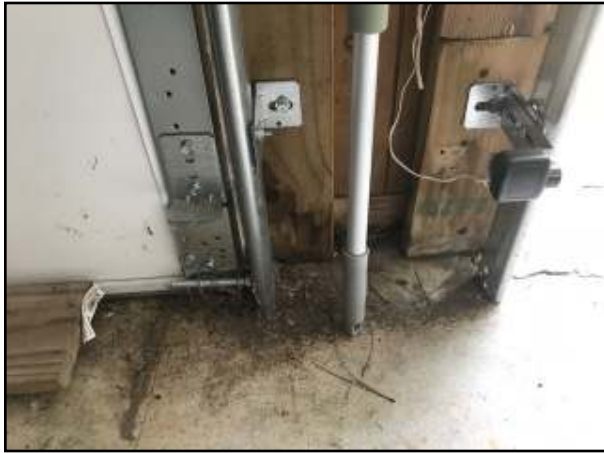


Figure 20-5



Figure 20-6



Figure 20-7



Figure 20-8



Figure 20-9



Figure 20-10

(Garage continued)



Figure 20-11

Limitations of Garage Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: A representative sample of the exterior components was inspected rather than every occurrence of components. Structural components concealed behind finished surfaces could not be inspected. Only a representative sampling of the visual structural components were inspected.

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Service Panel
Service Panel Location:	Interior
Service Panel Manufacturer:	Cutler-Hammer
	Condition: Satisfactory
Service Line Material:	Copper
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	200 amps
Overcurrent Protection:	Breakers
	Condition: Satisfactory
Branch Circuit Wiring:	Non-Metallic Shielded Copper
	Condition: Satisfactory
GFCI/AFCI Breakers:	Yes
	Condition: Satisfactory
Service Panel Ground:	Ground Rod
Outlets:	Grounded
	Condition: Satisfactory
Switches:	Standard
	Condition: Satisfactory
Lights:	Chandelier , Ceiling Mount, Ceiling Fan
	Condition: Satisfactory
GFCI Outlet Locations:	Kitchen, Bathrooms
	Condition: Satisfactory
Smoke Detectors:	Hard Wired
	Condition: Satisfactory

(Electrical continued)



Comment 21:

The main electrical service is sufficient for a building of the size and type. The electric is in good order with no major defects present. The distribution of electricity within the building is good. All visible wiring within the building is copper. All outlets tested are appropriately grounded. Most GFCI outlets responded properly when tested. The 200amp main disconnect is located in the service panel box in the garage. All GFCI breakers responded properly when tested. All breakers are appropriately sized and responded properly when tested.



Figure 21-1



Figure 21-2



Figure 21-3



Figure 21-4

(Electrical continued)



Figure 21-5



Figure 21-6



Comment 22:

Repair: the garage GFCI outlet did not respond when tested. The outlet needs to be GFCI protected.



Figure 22-1

Limitations of Electrical Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Electrical components concealed behind finished surfaces are not inspected. Only a representative sample of outlets and light fixtures are inspected. Furniture and/or storage restricted access to some

(Electrical continued)

electrical components which may not be inspected. The inspection does not included remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Sub Panel

Location:	Garage
Service Line Material:	Copper
Sub Panel Manufacturer:	Murray
Overcurrent Protection:	Condition: Satisfactory
Branch Circuit Wiring:	Breakers
	Non-Metallic Shielded Copper
	Condition: Satisfactory
GFCI/AFCI Breakers:	Not Present
Panel Adequacy:	Adequate



Comment 23:

All breakers are appropriately sized and responded properly when tested. Not all breakers are in use.



Figure 23-1



Figure 23-2

(Sub Panel continued)

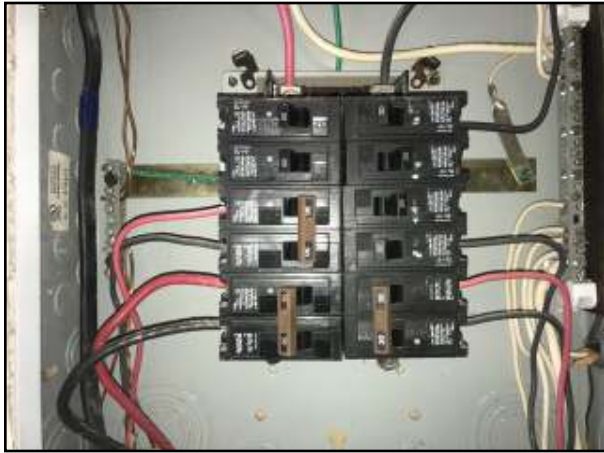


Figure 23-3



Figure 23-4



Figure 23-5



Figure 23-6



Comment 24:

Repair: the breakers in the sub panel box in the garage are not labeled.

HVAC

HVAC System Type:

Package Unit

Limitations of HVAC Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Window mounted air conditioning systems are not inspected. The cooling supply adequacy or distribution balance are not inspected.

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:

Exterior

Type of Equipment:

Heat Pump

Condition: Monitor

Manufacturer:

Armstrong

Approximate Age:

2006

Heating Fuel:

Electric

Condition: Satisfactory

Filter Type:

Disposable

Condition: Satisfactory

Type of Distribution:

Flexible Ducting

Condition: Repair or Replace



Comment 25:

Monitor: The heat pump system was manufactured in 2006. The system responded properly when tested in heating and cooling mode. The typical lifespan of a heat pump system is 20-25 years. No one can predict when replacement will become necessary. It is recommended you obtain a home warranty for unexpected repairs.

(Heating continued)



Figure 25-1



Figure 25-2

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Evaporative
	Condition: Monitor
Manufacturer:	Armstrong
Approximate Age:	2006
Condensor Size:	36,000 BTU (3 Tons)
Condensate Drainage:	To Exterior
	Condition: Satisfactory

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

HVAC #2

HVAC System Type:

Ductless Mini Split

Limitations of HVAC Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Window mounted air conditioning systems are not inspected. The cooling supply adequacy or distribution balance are not inspected.

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:

Bonus Room

Type of Equipment:

Heat Pump

Condition: Monitor

Manufacturer:

Fujitsu

Approximate Age:

2000

Heating Fuel:

Electric

Condition: Satisfactory



Comment 26:

Monitor: The ductless mini split heat pump system is estimated to have been manufactured in 2000. The system responded properly when tested in cooling mode. The typical lifespan of a ductless mini split heat pump system is 15-20 years.

(Heating continued)



Figure 26-1



Figure 26-2



Figure 26-3

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

(HVAC #2 continued)

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Monitor
Manufacturer:	Fujitsu
Approximate Age:	2000
Condensor Size:	12,000 BTU (1 Ton)
Condensate Drainage:	To Exterior
	Condition: Satisfactory

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper
	Condition: Satisfactory
Location of Main Water Shutoff:	At Meter
Sewer System:	Public
Waste Pipe Material:	PVC
	Condition: Satisfactory



Comment 27:

The water pressure to the fixtures is good. Only a slight decrease in pressure was observed when multiple fixtures are operated simultaneously. The main water shut off is located at the water meter. No leaks were detected.

Limitations of Plumbing Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Portions of the plumbing system concealed behind finishes and/or storage, below the structure, or beneath the ground are not inspected. Water quantity and water quality are not tested unless explicitly contracted for prior to the inspection. Clothes washing machine connections are not inspected.

Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted for.

Water Heater

Manufacturer:	US Craftmaster
Fuel:	Electric
Capacity:	40 gal
Approximate Age:	1997
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Satisfactory
Fuel Disconnect:	Electrical Panel Box

(Water Heater continued)

Seismic Straps Installed:
Expansion Tank Present:

Not Present
Not Present



Comment 28:

Monitor: The water heater was manufactured in 1997. The typical lifespan of a water heater is 10 to 15 years. The unit responded properly when tested. The system is beyond this age range and may require a higher level of maintenance. No one can predict when replacement will become necessary.



Figure 28-1



Figure 28-2

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Carpet, Wood Condition: Monitor
Walls/Ceiling:	Painted Drywall, Textured Over Drywall, Wood Trim, Wallpaper Condition: Satisfactory
Window Types:	Single Hung Condition: Satisfactory
Window Materials:	Wood, Aluminum
Entry Door Types:	Hinged Condition: Satisfactory
Entry Door Materials:	Wood, Glass, Metal
Interior Door Materials:	Wood
Fireplace:	Wood Burning Condition: Monitor



Comment 29:

The interior is in generally condition. No major defects were observed. Some minor cosmetic flaws were observed.



Comment 30:

Monitor: there is soot buildup in the fireplace flue. Having the flue inspected and cleaned by a chimney sweep is recommended.

(Interior continued)



Figure 30-1



Figure 30-2



Comment 31:

Monitor: several interior settlement cracks were observed. Following floor structure repairs, interior cracks should be repaired.



Figure 31-1



Figure 31-2

(Interior continued)



Figure 31-3



Figure 31-4

Limitations of Interior Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Furniture, storage, appliances, and/or wall hangings are not moved to permit inspection and may conceal defects. Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Bathrooms

Bathroom #1

Location:	Hall Bath
Bath Tub:	Free Standing
	Condition: Satisfactory
Shower:	In Tub
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Bidet:	Not Present
Shower Walls:	Tile
	Condition: Repair or Replace
Tub Surround:	Tile
	Condition: Repair or Replace
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator
	Condition: Satisfactory
GFCI Protection:	Outlets
	Condition: Satisfactory



Comment 32:

All fixtures responded properly when tested. The water pressure to the fixtures is good. Only a slight decrease in pressure was observed when multiple fixtures are operated simultaneously.

(Bathroom #1 continued)



Figure 32-1



Figure 32-2



Figure 32-3



Figure 32-4

(Bathroom #1 continued)



Comment 33:

Repair: the tile tub surround in the hall bath needs to be caulked.



Figure 33-1



Figure 33-2

Bathroom #2

Location:	Master Bath
Bath Tub:	Free Standing
	Condition: Satisfactory
Shower:	In Tub
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Tile
	Condition: Satisfactory
Tub Surround:	Tile
	Condition: Satisfactory
Floor:	Tile
	Condition: Satisfactory
Ventilation Type:	Ventilator
	Condition: Monitor
GFCI Protection:	Outlets
	Condition: Satisfactory

(Bathroom #2 continued)



Comment 34:

All fixtures responded properly when tested. The water pressure to the fixtures is good. Only a slight decrease in pressure was observed when multiple fixtures are operated simultaneously.

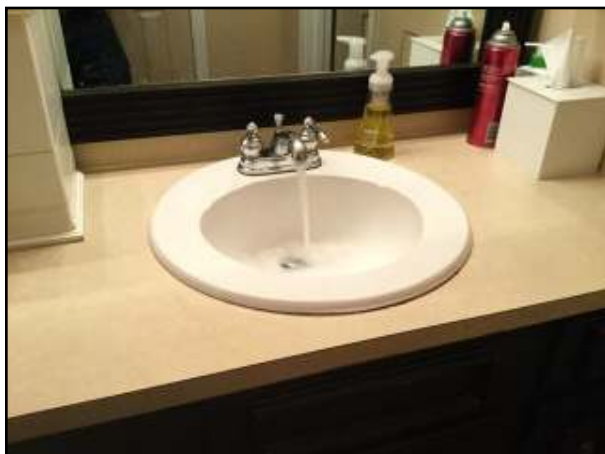


Figure 34-1



Figure 34-2

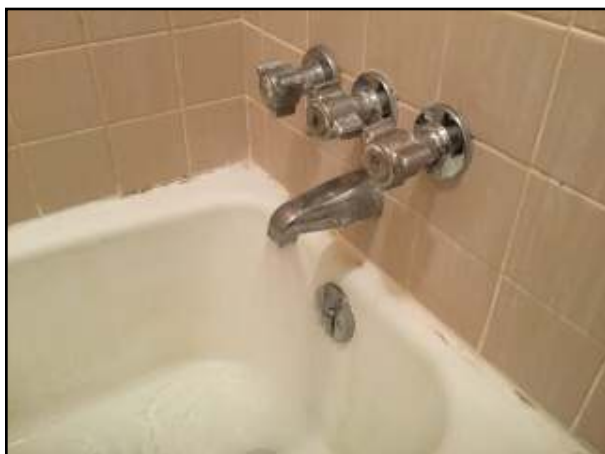


Figure 34-3



Figure 34-4

(Bathroom #2 continued)



Comment 35:

Monitor: the ceiling texture and tape joints in the master bathroom.



Figure 35-1

Kitchen

Cabinets:	Wood
	Condition: Satisfactory
Countertops:	Laminated
	Condition: Satisfactory
Sink:	Double
	Condition: Satisfactory



Comment 36:

The kitchen cabinets and countertops are of average quality and good condition. No major defects were observed. Some minor flaws were observed.



Figure 36-1



Figure 36-2



Figure 36-3



Figure 36-4

(Kitchen continued)

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	Bosch Condition: Satisfactory
Refrigerator:	Frigidaire Condition: Satisfactory
Dishwasher:	Not Present
Microwave:	Samsung Condition: Satisfactory
Disposal:	ISE Condition: Satisfactory



Comment 37:

The appliances are relatively new units. The appliances responded properly when tested and there should be a few years of useful life remaining.



Figure 37-1



Figure 37-2

(Appliances continued)



Figure 37-3



Figure 37-4



Figure 37-5



Figure 37-6

(Appliances continued)



Figure 37-7



Comment 38:

Repair: the dishwasher has been removed. The exposed wire needs to be terminated inside a junction box unless a dishwasher is being installed.



Figure 38-1

Limitations of Appliances Inspection

Per the inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions: Thermostats, timers and other specialized features and controls are not inspected. The temperature calibration, functionality of timers, effectiveness, efficiency, and overall performance of appliances is not part of this inspection. Appliances that are not permanently installed are not inspected.

Laundry

Built In Cabinets:	Yes
	Condition: Satisfactory
Laundry Sink:	Not Present
Dryer Venting:	To Exterior
	Condition: Satisfactory
GFCI Protection:	Not Present
Laundry Hook Ups:	Yes
	Condition: Satisfactory
Washer:	Not Inspected
Dryer:	Not Inspected

Home Inspection Receipt

Hubert A Miles Jr RBI #2556
DBA Patriot Home Inspections LLC
PO Box 22
Johnsonville, SC 29555
843-386-9100
info@patriothi.com

Date Of Inspection: Monday June 11 at 11:24 PM
Client's Name: Jeffrey Bannon
Property Address: 2988 Doncaster Dr
Property City, State, And Zip Code: Charleston, SC 29414
Inspection Fee: \$300.00
Total Paid: \$300.00
Payment Method: Cash
Payment Status: Paid in Full



Comment 39:
Thank you for your business.